

Building Permit Application

SECTION A - Required for ALL application submissions.

Applicant Information		
Name:	Are you also the primary contact? Yes No	
Address:	Postal Code:	
Phone:	Email:	
Additional Contacts		
Primary Contact:	Email:	Phone:
Legal Land Owner:	Email:	Phone:
Building Contractor:	Email:	Phone:
Engineer/Architect:	Email:	Phone:
Mechanical/Plumbing Contractor:	Email:	Phone:

SECTION B - Complete this section ONLY if applying in person. Not required if applying online with eBuild.

Building Use	<input type="checkbox"/> Single Family Dwelling	<input type="checkbox"/> Duplex/ Semi-detached	<input type="checkbox"/> 3+ Units Residential	<input type="checkbox"/> Commercial	<input type="checkbox"/> Industrial	<input type="checkbox"/> Institutional	<input type="checkbox"/> Agricultural	<input type="checkbox"/> Temporary
Nature of Work	<input type="checkbox"/> New <input type="checkbox"/> Alteration <input type="checkbox"/> Addition <input type="checkbox"/> Repair <input type="checkbox"/> Other							
Building Address and Legal Land Description								
Address:								
Lot:	Block:	Plan:						
Describe the Scope of Work <i>(explain the project in detail; indicate whether additional items such as (un)covered decks, plumbing work, basement developments, spray foam, etc. are included within the scope of work)</i>								
Total Estimated Cost of Construction <i>(excluding new residential construction)</i> \$								
Request for Building and Occupancy Permit								
<p>I hereby acknowledge that I have read this application and state that the information contained herein is correct and agree to comply with all City of Regina bylaws and/or provincial laws regarding building and occupancy. It being expressly understood that the issuing of a permit does not relieve the applicant/owner from complying with all bylaws and national building codes though not called for in the specifications or shown on plans and/or applications submitted. I understand that conditions may be placed on the permit and must be complied with during construction. The building shall not be occupied until such time as an occupancy permit is issued to the owner. Work shall commence within six months, shall not be stalled for period of more than six months, and shall be completed within two years from the date of issue or permit will be cancelled. The use of street, sidewalk or lane during construction requires additional authorization. This application form does not allow work to start as this is not an issued building permit.</p>					<p>The information on and within the permit documents are collected under the Local Authority Freedom of Information and Protection of Privacy Act. The purpose of the collection is to process your application for a building permit. It will be retained as a record of your application and may be used to contact the parties involved in this project. The application and the information contained therein may also be used by the City for compliance or other legal action pursuant to The Cities Act, The Construction Codes Act and the City's Building Bylaw and The Planning and Development Act. Issued City permits, including name of applicant, name of owner, description of work, location, value of work and contractor names, may be released to members of the public by the City in accordance with the provisions of The Local Authority Freedom of Information and Protection of Privacy Act. If you have any questions about the collection and use of this information, please contact Building Standards at 306-777-7000.</p>			
_____			_____		_____		_____	
Legal Land Owner (printed)			Signature of Legal Land Owner		Signature of Applicant		Date (MM/DD/YYYY)	

What is a Backyard Suite?

A backyard suite (also known as a laneway suite, garden suite, carriage house or granny flat) is typically a self-contained dwelling unit that is detached and ancillary to the principal dwelling unit. It can be located with or above a detached garage, or on the same property as an independent structure (as long as the dwelling does not already contain a secondary suite). It provides the basic requirements for living, sleeping, cooking and sanitation similar to that of a secondary suite.

For more information that may apply to your project, see the [Backyard Suites Advisory](#).

How to Submit Your Application

Submit your completed application online by [registering for eBuild](#). Applying online allows you to track the status of your application and access application information from anywhere.

The City will review your application to ensure it meets all requirements. All applications are reviewed under the most current National Building Code of Canada and City Bylaws. The owner is responsible for ensuring their building complies with all construction standards.

Ensure your project plans are legible and precise. Drawings stamped with “not for construction”, “preliminary” or “for permit purposes only” will not be accepted.

Permit Fee

The fee for a backyard suite **in a new building** is based on the **total** area of the suite, common spaces and other spaces in the building.

- Backyard suite: \$9.00 per m² (minimum permit fee of \$100)

The fee for a backyard suite **in an existing building** is based upon the total value of the work.

- Backyard suite: \$8 per \$1000 of the value of the work (minimum permit fee of \$100)

Once your application is approved, payment must be made online using eBuild, or in person at City Hall. Following payment and final processing by our staff, your permit will be issued and emailed to the applicant. Your approved drawings will then be available on eBuild and construction may begin.

Addressing

When an application is made for a backyard suite, you will automatically be assigned a separate and second address for a fee of \$21.75 + GST. Upon occupancy, a letter will be sent out notifying required agencies within the City of Regina. The second address must be placed within one metre of the front entrance and be plainly visible from the street that abuts the front entrance to the principal dwelling.

The principal dwelling will be identified by adding an “A” before the house number whereas the backyard suite address will be identified by adding a “B” before the house number of the principal dwelling.

Address of principal dwelling: A 123 Regina Street

Address of backyard suite: B 123 Regina Street

Application Checklist

The following items must be included in your application package:

Applications will not be accepted until all information is provided.

Application Form (signed by legal owner of the property, as registered on title)

- Backyard suites are considered a 'new', 'addition' or 'alteration' class of work, based on individual circumstances

Supply accurate and detailed plans to speed up the application review process. Metric plans preferred.

Submission Details Form (Page 6)

Site Plan (metric plans preferred)

Including a site survey (Real Property Report or lot plan) with your application package is recommended to increase your first-time approval rate.

If a site survey is unavailable, site plans must be well-drawn, properly dimensioned and include all required components (see Page 7 for more information).

Building Drawings

Plans must include the following components:

- Floor plans of each floor (complete with full interior and exterior dimensions and room uses)
- Window location, size, and type (unobstructed opening size and type of bedroom windows)
- Location and dimensions of stairs (including handrails, headroom clearance, rise, run, etc.)
- Location of smoke, carbon monoxide alarms and all mechanical equipment for the suite
- Spatial separation information / glazed opening calculations for all walls (including for the primary dwelling and any existing detached accessory structures)
- Locations of all required separations and sound ratings (complete with assemblies)
- Location and type of doors in smoke tight barriers and/or fire rated assemblies
- Engineer or architect designed/stamped plans for new construction or verification of existing foundation systems

Framing Layouts or Sealed Designs by Supplier

- Floor and/or roof truss layouts containing header/beam/post sizing (if applicable)
- If sealed designs are not provided at application stage, they must be emailed to buildingdocs@regina.ca prior to booking the framing inspection

Ventilation Summary of Design Form (Pages 3-5)

Other Requirements (if applicable)

- Gas or wood fireplace specifications (see [fireplace application](#))
- Spray foam information (see [spray foam application](#))
- The [Energy Efficiency Compliance Form](#) is required for new or additional floor areas as well as alterations to the building envelope, windows or mechanical equipment for houses built after January 1st, 2019

Ventilation Summary of Design

- Forced Air**
 (ref: NBC 2015 9.32.3)

 Radiant

 No Combustion Equipment
- Carbon Monoxide Alarms**
 (ref: NBC 2015 9.32.3.9)

Conditions:

Is spillage susceptible equipment present in house?	Yes	No
Is solid fuel equipment present in house?	Yes	No
Is soil gas a problem & no mitigation system present?	Yes	No
Are carbon monoxide alarms required? (ref: NBC 2015 9.32.3.9.)	Yes	No

If you answered “No” to all of the above, you can select any type of ventilation system.
 If you answered “Yes” to one of more, you cannot have an exhaust only system.

Type of Ventilation System Designed: (choose type for use under this permit)

- A - Ventilation coupled with forced air, ventilation supply air and supplemental fans. (Mixed-air calculation as per 2015 NBC table 9.32.3.4.(2))
- B - Ventilation coupled with forced air, heat recovery (HRV) ventilation supply air and supplemental fans.
- C - Ventilation not coupled with forced air, with ventilation supply air and supplemental fans. (May require heating of supply air)
- D - Ventilation not coupled with forced air, heat recovery (HRV) ventilation supply air and supplemental fans.
- E - Dual capacity ventilation coupled with forced air ventilation supply air and no supplemental fans – no HRV. (Mixed-air calculation as per 2015 NBC table 9.32.3.4.(2))
- F - Ventilation coupled with forced air, heat recovery (HRV) ventilation supply air and no supplemental fans HRV must be capable of 2.5 times the principal fan speed and have a pick-up in kitchen. Grease filter required if within 10 feet of stove, switch to turn on HRV to high speed in kitchen
- J - Exhaust only ventilation no ventilation supply air requires a forced air circulation system either stand alone or blower on forced air system. This system cannot be used if house has solid fuel, spillage susceptible appliances or soil gas problems. (ref: NBC 2015 9.32.3.6)
- K - System designed to CSA F-326 and any house with six bedrooms or more. (ref: NBC 2015 9.32.3.1.(1)(a))

Principle Ventilation System Information:

Number of bedrooms: _____

Principal fan exhaust speed range: _____ to _____

One: 32-48 cfm. Two: 36-56 cfm. Three: 44-64 cfm. Four: 52-76 cfm. Five: 60-90 cfm. Six bedrooms and over requires a CSA design. (ref: NBC 2015 9.32.3.3. & table 9.32.3.3.)

Principal Ventilation System Exhaust Information:

Manufacturer/Model: _____

HVI design air flow: _____ cfm low / cfm high _____

System F high ventilation rate 2.5 times: _____

Principal Ventilation System Supply Information: (choose type for use under this permit)

- Supply side of HRV balanced within 10 per cent (systems B,D,F)
- Fresh air to furnace sized and mixed air calculation to NBC 2015 (ref. NBC 2015 Table 9.32.3.11 a & b)
- Exhaust only with circulation system (system J)

Supplemental Fans Information:

Bathrooms HRV pick-up: Yes No

Bathroom fan (50 cfm minimum) manufacturer/model _____

Kitchen range hood or exhaust fan (100 cfm minimum) with grease filter when required: Yes No

Manufacturer/Model: _____ HVI

HRV pick-up with grease filter if within 10 feet of stove (system F) Yes No
(ref: NBC 2015 9.32.3.7)**Make-Up Air Information:**If spillage susceptible equipment is present
(Individual make up air is required for every exhaust device.)Make-up air is not required no spillage susceptible equipment Yes No
(ref: 2015 NBC 9.32.3.8.2-8)

Other Exhaust Devices Information:

Make-up air required: Yes No
If "Yes", the manufacturer/model is required.

Manufacturer/Model: _____

Dryer 150 cfm: Yes No

Other: _____ Manufacturer/Model: _____

Mixed-air required: Yes No
(Mixed-air calculation as per 2015 NBC table 9.32.3.4. (2))

The system is designed to the 2015 NBC 9.32: Yes No
(Duct work to be as set out in the 2015 NBC tables 9.32.3.11.a & b or HRAI ventilation digests)
(HRV balancing is required within 10% and results visually posted on HRV unit.)

Property Information:

Address: _____

Applicant Information:

Company / Name: _____

Address: _____

Phone: _____

Email: _____

Designer: _____ HRAI Number (if applicable): _____

Additional Note:

Please attach any designs to this summary if applicable.

Date: _____

Name (print): _____

Signature: _____

Submission Details

Submit this completed form with your application.

Current suites (required)

Declare whether or not a secondary suite currently exists in the principal dwelling unit:

- Yes No

Existing Building (if applicable)

When was the building constructed?

- Before Jan 1 2019 After Jan 1 2019

If the building was existing, what was the space used for previously? (ex: heated storage space, note: this will be verified with permits on file)

Total Area of Backyard Suite

For calculating the permit fee

- _____ m² ft² Suite Area
 _____ m² ft² Common Area
 _____ m² ft² Storage Garage

Bedroom Window Type

- Slider Casement
 Inswing awning _____

Bedroom Window Size

Unobstructed opening dimensions

Window 1 _____ W x _____ H

Window 2 _____ W x _____ H

Spray Foam (if applicable)

Attach [spray foam application](#)

- Yes None

Fireplace (if applicable)

Attach [fireplace application](#)

- Gas Masonry
 Solid fuel burning None

Trusses (pick one)

- I am submitting truss layouts and stamped designs from the supplier at permit application.
 I am submitting truss layouts from the supplier at permit application, with stamped designs to be submitted prior to framing inspection.
 I am using dimensional lumber conforming to the Part 9 Span Tables (provide on drawing).

Design Details

- Floor plans for all floor levels (complete with dimensions and room uses)
 Location and details of all fire rated assemblies (complete with sound ratings)
 Location and type of doors in smoke-tight or fire-rated assemblies
 Engineer or architect designed/stamped foundation plans
 Ventilation summary of design form
 Site plan with setbacks and parking noted (see Page 7 for additional information)

Acknowledgement (required)

The contractor and/or engineer has verified that the existing and/or proposed water and wastewater services are of adequate size to service the proposed development

- Yes No

Note: A 3-way agreement may be required if there are changes required to City Infrastructure.

Site Plan

Including a site survey (Real Property Report or lot plan) with your application package is recommended to speed up the application review and increase your first-time approval rate.

If a site survey is unavailable, plans must be well-drawn, properly dimensioned and include following components:

- Lot shape and size (with property lines labelled)
- Location and size of all existing and proposed buildings complete with dimensions to all property lines
- Easements, right-of-ways (for utilities, or other)
- Decks, projections, cantilevers
- Driveway location complete with material type and dimensions of existing and/or proposed parking stalls for the principal dwelling and backyard suite
- Locations of abutting streets or lanes
- Servicing details from principal dwelling (including pipe size, depth, slope and material type)
- Proposed upgrade of existing services to the primary dwelling, if required for the backyard suite

It is important that locations and dimensions of the property lines and existing structures are accurate.

Site Surveys

A site plan can be drawn using a previously completed Real Property Report (RPR) or a new RPR. If an RPR is not available a basic lot plan can be obtained from the Information Services Corporation (ISC) at no cost and can be used as the basis for a site plan.

Zoning Definitions

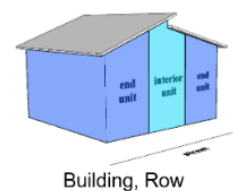
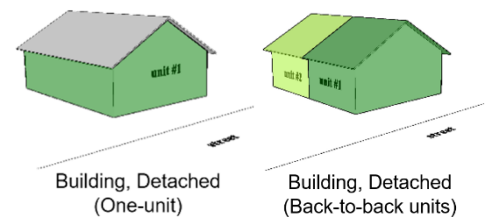
Building, Accessory - A separate building or structure normally incidental, subordinate, exclusively devoted to and located on the same lot as the principal building or structure.

Building, Detached - A building on a single lot and contains, either:

- one unit occupying the entire building; or
- multiple units attached back-to-back through a common wall extending from foundation to roof.

Building, Row - A building containing two or more units, as specified within the zone regulation, while meeting the following conditions:

- The units may be located on the same lot or separate lots and maybe subdivided from each other;
- Minimum two units shall be connected side-by-side where through walls extending from foundations to roof; and
- No unit shall be located entirely or partially above the other.



Coverage - The percentage of the lot which is covered by buildings or structures, excluding uncovered swimming pools, uncovered terraces, uncovered porches and decks, except when the basement walk out area is covered by main floor deck.

Dwelling, Unit - A self-contained living unit of one or more rooms containing cooking facilities, sanitary facilities, living quarters and/or sleeping quarters.

Dwelling, Secondary Suite - A subordinate, self-contained Dwelling, Unit within a building or portion of a building that contains a principal Dwelling, Unit, and where both dwelling units constitute a single real estate entity.

Dwelling, Backyard Suite - A subordinate, self-contained Dwelling, Unit within an accessory building or portion of an accessory building, in the side or rear yard, on a lot that contains a principal Dwelling, Unit.

Flankage yard - Part of a corner lot which extends from the front yard to the rear yard between the lot line adjoining a public street and the nearest wall or supporting member of a principal building or structure.

Gross Floor Area - The total floor area in a building or structure that is primarily indoors, measured between the exterior faces of the exterior walls of the building or structure at the level of each storey:
(a) at and above grade, in the case of Dwellings in residential zones or below, at and above grade, in the case of all other uses; and
(b) excludes the area used for off-street unloading, parking, mechanical equipment, stairways or shafts.

Shared yard - part of the rear yard for use by a principal dwelling unit and a dwelling, backyard suite for active or passive recreation use.

Zoning Regulations

Construction of backyard suites require a building permit and a development permit. A development permit authorizes a development according to the [Zoning Bylaw](#). The Zoning Bylaw regulates the number, location, and size of a backyard suite within a building. **This application includes a building and zoning review and you will be issued both a building and development permit upon approval.**

The following information is provided for guidance only. This is not an exhaustive list of the zoning requirements, and exceptions may apply. Before finalizing your design, applicants are encouraged to contact Service Regina [online](#) or by phone at 306-777-7000 to confirm requirements as they vary depending on the zone and other factors.

Property Zones

Access the City of Regina's [zoning map](#) to determine your property's current zone and any overlay zones. Click on the property and a search result window will open to show you the current zoning.

All regulations for each zone can be found in the [Regina Zoning Bylaw 2019-19](#).

Location

Backyard suites are permitted on a lot with a detached building with only one principal dwelling unit in the R1, RN, RL, and RU zones.

Backyard suites are permitted on a lot within a row building with only one principal dwelling unit in the RL and RH zones.

Development Standards

The following information is provided for guidance only. This is not an exhaustive list of the zoning requirements and exceptions may apply. Before finalizing your design, applicants are encouraged to

contact Service Regina [online](#) or by phone at **306-777-7000** to confirm requirements as they vary depending on the zone and other factors.

Accessory Building with a Backyard Suite		Residential Zones						
		Use the zoning map to determine your property's current zone.						
		RN	RU		RL	RH	RMH	R1
Maximum Site Coverage		50%	Detached or Stacked Building	Row Building	60%	60%	50%	50%
			50%	60%				
Maximum Area		80 square metres						
Maximum Height		5.8 metres						
Minimum Eave Setback from a Lot Line		450 millimeters						
Minimum Parking Stall		One parking stall is required for backyard suite . Minimum size of 2.5 x 6 metres or 2.73 x 5.5 metres Parking stall and driveway must be a hard, dust-free surface.						
Setbacks for Interior Lots								
Minimum Setback from Rear Lot Line	Vehicle Doors Face Rear Lane (If accessory building has a garage and is in the rear yard)	1.5 metres (for portions below 4.0 metres in height) 2.5 metres (for portions above 4.0 metres in height)						
	Otherwise (If accessory building is in the rear yard)	600 millimetres (for portions below 4.0 metres in height) 3.0 metres (for portions above 4.0 metres in height)						
Minimum Setback from Side Lot Line	If accessory building is in the rear yard	600 millimetres (for portions below 4.0 metres in height) 1.2 metres on one side and 600 millimetres on the other side (for portions above 4.0 metres in height)						
	If accessory building is in the side yard	Same required side yard setback as the principal building						
	If dwelling on lot is attached	Zero on same side(s) as attached lot line						
Setbacks for Corner Lots								
Minimum Setback from Rear Lot Line	Vehicle Doors Face Rear or Side Lane (If accessory building has a garage)	1.5 metres (for portions below 4.0 metres in height) 2.5 metres (for portions above 4.0 metres in height)						
	Otherwise (If accessory building is in the rear yard)	600mm (for portions below 4.0 metres in height) 3.0 metres (for portions above 4.0 metres in height)						
Minimum Setback from Side Lot Line	Vehicle Doors Face Flankage Street	5.5 metres from the back of curb or walk where the flankage lot line adjoins a public street 1.5 metres where the flankage lot line adjoins a public lane						
	Otherwise (If accessory building is in the rear yard)	600 millimetres						
	Otherwise (If accessory building is in the side yard)	Same required side yard setback as the principal building						
	If dwelling on lot is attached	Zero on same side(s) as attached lot line						
Setback from Front Lot Line		Accessory buildings are not permitted in the front yard						
Setback from Principal Building		5.0 metres, unless a shared yard is provided and has no dimension less than 5.0 metres, then 1.0 metres.						

Number of Suites

The maximum number of backyard suites per principal dwelling unit is one. A backyard suite shall not be located on a lot where there is already a secondary suite within the principal building.

Size

A backyard suite shall not have a gross floor area more than the lesser of:

- i. 40 per cent of the gross floor area of the building; or
- ii. 80 m²

The calculation of the gross floor area shall exclude the portions of an accessory building used as a garage. The floor area occupied by a backyard suite shall be considered as part of the principal building.

Backyard Suite Design

A backyard suite must meet the following design requirements:

- A basement suite is not permitted within a backyard suite.
- An accessible walkway, connecting the street or lane to the backyard suite, shall be provided and be no less than 1.2 metres wide.
- Balconies in the backyard suite shall orient towards a public right of way, the shared yard, or an Open Space, Active land use.

Parking

One parking stall is required on site for the backyard suite. This is in addition to the parking required for the principal dwelling unit. On-street parking cannot be used to satisfy the minimum parking requirement. A typical stall measures 6.0m in length by 2.5m wide, or 5.5m in length by 2.73m wide.

Building Code Requirements

Here are the **National Building Code (NBC) 2015 requirements that must be met and will be inspected**. Note that this is not an exhaustive list of NBC requirements, and exceptions may apply:

Alarms

Smoke alarms (Subsection 9.10.19) - Smoke alarms shall be interconnected, hard-wired and provided with battery backup. They shall be installed so that a smoke alarm is provided in the following locations:

- on each storey,
- in each sleeping room,
- outside the sleeping room (between the sleeping room and remainder of the storey). If the sleeping room is served by a hallway, this smoke alarm must be in the hallway (Subsection 9.10.19), and
- in ancillary spaces and common spaces not in dwelling units, in a backyard suite.

Carbon monoxide detectors (Article 9.32.3.9 of the Appendix titled “Amendments to the National Building Code of Canada 2015” within *The Building Code Regulations*) - Carbon monoxide (CO) detectors are required for houses that contain fuel-burning appliances (furnaces, water heaters, etc.) or that have attached garages. In general, CO detectors shall be provided inside each bedroom, or within 5m outside of each bedroom door. Also, a room containing a solid-fuel-burning appliance (e.g., wood-burning fireplace) shall have a CO detector within the room.

Ceiling Height

Ceiling heights shall conform to Table 9.5.3.1. – In general, the minimum height required is 2.1m. Existing construction may not meet the current NBC requirements and the owner should work to maintain as much clear height as possible for ceilings, doors, beams, etc.

Clear height in storage garages (Article 9.5.3.3) – The clear height in a storage garage shall be not less than 2 m.

Dampproofing and Soil Gas Control

Required dampproofing (Article 9.13.2.1) – Except as provided in Sentence (3) and Article 9.13.3.1., floors-on-ground shall be dampproofed.

Soil gas control (Article 9.13.4.1) – Wall, roof and floor assemblies separating conditioned space from the ground shall be protected by an air barrier system. And, unless the space between the air barrier system and the ground is designed to be accessible for the future installation of a subfloor depressurization system, dwelling units and buildings containing residential occupancies shall be provided with the rough-in for a radon extraction system.

Doors

Width and height (Article 9.5.5.1) - Doors shall meet or exceed the height and width requirements of Table 9.5.5.1. The following door widths apply:

- entrance to house: 810mm
- doors to stairs: 810mm
- utility room: 810mm
- walk-in closet: 610mm
- bathroom: 610mm & 760mm (note: access to at least one bathtub/shower and water closet must have doors that are 760mm wide (Article 9.5.5.3))
- other rooms: 760mm

Pathway to mechanical room (Table 9.5.5.1) - All doors in one path of travel from the exterior of the building to the mechanical room shall be at least 810mm wide to enable movement of equipment, such as furnaces and water heaters.

Drainage

Sump pit and pump (Article 9.14.5.2) – New sump pits must be at least 750 mm deep, at least 0.25m² in area, and have an airtight cover. **OR**

Granular Drainage Layer Material and Installation (Section 9.14.4) – Granular material shall consist of a continuous layer of crushed stone or other coarse clean material that not more than 10% can pass through a 4mm sieve. & Shall be laid on compacted soil to a minimum depth of 125mm (6”) beneath the footing of the building and extend 300mm (1'-0”) past the outside edge of the footings.

All stormwater drainage weeping tile or groundwater seepage sumps must discharge to the surface or storm system ([Regina Wastewater and Storm Water Bylaw](#)). Ensure discharge locations are 2.0m away from property line and do not overflow city sidewalks or impact neighbouring properties ([Standard Construction Specifications](#)). Existing drainage systems pumped to the sanitary system may remain.

Electrical Facilities

Lighting provided in rooms (Article 9.34.2.2) - Rooms and hallways shall be provided with lights controlled by wall switches. Lights that are plugged into a wall outlet that is controlled by a switch are acceptable for bedrooms and living rooms.

Stairway lighted, and 3-way switched (Article 9.34.2.3) - Stairways shall be lighted and shall be provided with 3-way wall switches at both the head and foot of the stairway.

Lighting of entrances (Article 9.34.2.1) – An Exterior lighting outlet with fixture controlled by a wall switch located within the building shall be provided at every entrance to buildings of residential occupancy.

Energy Efficiency Standards

The Province of Saskatchewan adopted Section 9.36 of the 2015 NBC on January 1, 2019. This Section requires all new buildings and additions to existing buildings (where floor area is increasing), being constructed after this date, to comply with this section of the code. Any new construction, or addition of a backyard suite will need to meet the requirements of Section 9.36.

For alterations/conversions of existing buildings to backyard suites, Section 9.36 will apply if the structure was built after the implementation date of Jan. 1, 2019, and it housed a permitted, conditioned occupancy (other than a storage garage) previously. Exceptions may apply but will be determined on a case-by-case basis.

Finishing

Wall Finish (Section 9.29) - Wall finishes shall conform to one of the Code-approved finishes found in Section 9.29. Examples include gypsum board, plywood, plaster hardboard, insulating fireboard, particle board, OSB, Waferboard and wall tile.

Ceiling finish (9.29) - If providing a ceiling finish, it shall comply with one of the finishes mentioned above.

Fire protection and sound control (Article 9.29.1.1) – A wall or ceiling finish shall also conform to the appropriate requirements in Sections 9.10 and 9.11, in addition to the requirements of this section. Also, see above under fire protection and sound control requirements.

Fireplaces (if applicable)

Gas fireplaces - When a gas fireplace is planned to be installed, the manufacturer's specifications must be provided to show the clearances required for proper installation.

Masonry fireplaces (Section 9.22) - If a masonry fireplace is to be constructed on-site, it is recommended to involve a designer competent in masonry fireplace design. Several of the items covered in this Section of NBC include footings, fireplace walls and liners, fire chamber and hearth design, smoke chamber design, clearances to combustibles, etc.

Fire Protection

1 hour fire separation requirements (Section 9.10) - When a backyard suite is built overtop of or beside a storage garage, article 9.10.9.16 Separation of storage garages states that a dwelling unit must be separated from the storage garage (that contains 5 motor vehicles or fewer) or other occupancies by a fire separation no less than 1 hour.

Because it cannot be determined if the storage garage serves only the backyard suite the 1 hour rating will be required but may be exempted when the suite is independent from vehicle storage.

Any common space or construction supporting a rated assembly will also need to meet the same requirements as the other separating assemblies.

Foundation Design

As per the City of Regina *The Building Bylaw 2003-7* Article 2.5.1 'Responsibility For Design',

Foundations including foundation walls and grade beams for all buildings and structures including single and two-family detached buildings but excluding residential detached accessory buildings shall be designed by a professional engineer operating within the provisions of *The Engineering Profession Act* or a registered Architect operating within the provisions of *The Architects Act* in the Province of Saskatchewan.

Whether a laneway suite is constructed separately from a detached garage or built as part of one, it will be considered a single family dwelling and not just a 'residential detached accessory building'. Therefore, the construction or conversion of a laneway suite and will require the foundation to be stamped and sealed by a registered Architect or Engineer. The design of the foundation will be determined by the Architect/Engineer depending on the style and construction of the proposed backyard suite.

Mechanical: Heating & Ventilation

Required ventilation (Article 9.32.1.2.) – A self-contained heating-season ventilation system serving a single dwelling unit shall comply with Subsection 9.32.3. Each dwelling will need its own ventilation system.

Exhaust in each kitchen (Article 9.32.3.7) – A supplemental exhaust fan with a rated capacity not less than 50 L/s shall be installed in each kitchen except where the only exhaust air intake for the principal ventilation fan is located in that kitchen.

Exhaust in bathroom (Articles 9.32.3.7 to 9.32.3.8) - A bathroom exhaust fan rated for a minimum of 25L/s shall be provided in each bathroom. Alternatively, an exhaust air intake from a principal ventilation fan (e.g., heat recovery ventilator, HRV) should be provided in each bathroom (Sentence 9.32.3.7.(4)). The owner shall ensure that introducing exhaust fans does not cause issues with depressurization and backdrafting of fuel-fired equipment.

Air duct system (Sentence 9.33.1.1.(3)) – Air duct distribution systems serving one of the dwelling units in a house with a secondary suite shall not be directly interconnected with other parts of the house including common spaces.

Indoor design temperatures (Sentence 9.33.3.1.(1)) – At the outside winter design temperature, required heating facilities shall be capable of maintaining an indoor air temperature of not less than 18°C in common service rooms, ancillary spaces and exits in houses with a secondary suite.

Warm air supply outlets (Article 9.33.6.11) - A warm air supply outlet shall be provided in each finished room that is adjacent to unheated space.

Return air inlets (Article 9.33.6.12) - At least one return air inlet shall be provided on each level. The return air inlet shall not be located in a room that provides combustion air to a furnace.

Plumbing

Any plumbing on this permit is to conform with the National Plumbing Code of Canada and is required to be confirmed on site by the City of Regina mechanical inspector. After a permit has been issued, the journey person may phone 306-777-7292 between 8 a.m. and 9 a.m. to speak with a mechanical inspector or to book an inspection. The qualified journey person is required to be on site for the inspection.

Required plumbing (Article 9.31.4.1.(3)) – Every dwelling unit shall contain a kitchen sink, lavatory, bathtub or shower and water closet.

Sound Transmission

A backyard suite is required to meet certain sound requirements when it's proposed in a building adjacent to another space, such as a storage garage.

Required Protection (Article 9.11.1.1.(1)) – A dwelling unit shall be separated from every other space in a building in which noise may be generated by:

- a) A separating assembly and adjoining constructions, which together provide an apparent sound transmission class (ASTC) rating of not less than 47, or
- b) A separating assembly providing a sound transmission class (STC) rating of not less than 50 and adjoining constructions conform to Article 9.11.1.4.

Spray Foam and other Foamed Plastics (if applicable)

Foamed plastics must be approved for use by the City of Regina and installed by a City-approved installer if spray foam will be used as the vapour barrier. However, if an additional vapour barrier will be installed, a City-approved spray foam product and installer are not required.

It is the contractor's responsibility to ensure a label is placed on the job site as required by CAN/ULCS705.2, including the above information and stating: "This certificate indicates that the installed, applied spray of rigid polyurethane foam insulation meets the CAN/ULC-S705.1 – medium density – product standard. This product has been installed according to the CAN/ULC-S705.2 installation standard."

Foamed plastic insulation protection (Article 9.10.17.10) - Where foamed plastics are used in wall or ceiling assemblies (e.g., foam insulation boards, spray foam, etc.), they must be covered by:

- an interior finish from Subsections 9.29.4 to 9.29.9 (see wall/ceiling finishes for details), or
- a thermal barrier meeting Sentence 3.1.5.15.(2). Note: these products must generally be evaluated and approved by the City of Regina prior to use. Contact Service Regina for more information at 306-777-7000.

Stairs (if applicable)

Width (Article 9.8.2.1) and headroom height (Article 9.8.2.2) - Stairs serving a single dwelling unit (house or suite) shall be at least 860mm wide. The headroom height shall be at least 1950mm.

Configuration (Subsection 9.8.3) - Most commonly, stairs are constructed as straight flights. Refer to NBC for unique configuration requirements, such as winders.

Rise and run (Articles 9.8.4.1 - 9.8.4.8)

- treads and risers must have uniform rise and run in any flight, including top and bottom risers,
- risers must be 125mm minimum to 200mm maximum, and
- runs must be 255mm minimum to 355mm maximum.

Landings (Subsection 9.8.6) - Landings are required at the top and bottom of each flight of stairs. In general, landings must be at least as wide and as long as the width of the stairs.

Handrail height (Subsection 9.8.7) and guards (Subsection 9.8.8) - Handrails are required on interior stairs with more than two risers (steps). Required handrails shall be 865mm to 1070mm high. If the walking surface is 600mm or more above the adjacent surface, then a 900mm high guard must also be provided. The open space between spindles must not be more than 100mm.

Stringers (Subsection 9.8.9) - Stair stringers shall have a minimum effective depth of 90mm and overall depth of at least 235 mm and shall be secured at the top and bottom. Since detached garages are considered subsidiary to the house they serve, the spacing shall be not more than 900mm o.c. (exceptions provided in Code), however closer spacing allows for thinner tread material. See Subsection 9.8.9 for more details.

Trusses, Rafters, Lintels and Other Engineered Products

Pre-manufactured Trusses - Pre-manufactured trusses require sealed drawings showing that they were designed by a professional engineer or architect operating within the provisions of the Professional Engineer/Architect Act in the Province of Saskatchewan. These sealed designs shall be site specific, and not more than two years old.

At a minimum, truss layouts from the supplier are required at the time of permit application. Sealed truss shop drawings from the supplier must then be submitted prior to the inspection by emailing buildingdocs@regina.ca (**Note: if the truss shop drawings are not provided prior to the framing inspection, the inspection will be cancelled and rescheduled**). Alternatively, the sealed truss shop drawings may be submitted at time of permit application, along with the truss layout by supplier.

Other engineered products - Products (such as Laminated Veneer Lumber (LVL), etc.), or structural components that are beyond the scope of the Part 9 span tables (such as lintels that cannot be verified from the NBC tables, or tall walls) are required to be sealed by a professional engineer or architect. These components must be identified on the drawings, and sealed designs must be submitted following the truss design process selected. The sealed designs must be site specific and less than two years old.

Rafters (Article 9.23.4.2. and Subsection 9.23.14) - All rafters made on site will have to be drawn for the permit application and show how they meet the snow loads and spans from Part 9 of the NBC.

Lintels (Article 9.23.12.3) - Lintels to be shown to meet the Part 9 span tables of the NBC, or they are required to be engineered, as described above. Where lintels span more than 3m, they shall be supported on each side by two trimmer studs (under the lintel) fasted to a king stud (beside the lintel). Spans less than 3m can be supported on each side by one trimmer fastened to a king stud.

Windows

Bedroom window(s) sized for egress (Article 9.9.10.1) - Each bedroom without an exterior door shall have a window that is:

- openable from the inside without the need for special tools or knowledge (e.g., windows or security bars that are unlocked by a key are not permitted),
- the window shall provide a clear opening of at least 0.35m² with each dimension being at least 380mm, and
- the window shall remain in the opened position without the need for additional support (e.g., using a stick to hold a window open is not permitted).

Spatial separations (Article 9.10.15.4) - When new windows/openings are planned, when rough-openings for existing windows/openings are to be changed, or if the use of the space is changing, spatial calculations must be provided showing conformance to NBC. Windows are not permitted where the window is less than 1.2m from a property line (unless the property line is adjacent to a street or lane). The maximum allowable area of glazed openings (how many windows you can have on a building face) varies based on the area of the building face and the distance to the property line. For example: if the wall has a building face area of 30m² and is also 1.2m from the property line, up to 7% of a wall can be glazed. If a wall has a building face area of 30m² and is 1.5m from the property line, up to 9% of the wall can contain windows.

Spatial separation calculations shall be provided for all sides of the backyard suite including the walls that face the backyard suite on the existing dwelling. At a minimum, information on the existing wall area, new and existing windows, and distance to an imaginary line between the buildings shall be provided (as shown in *Figure 1*).

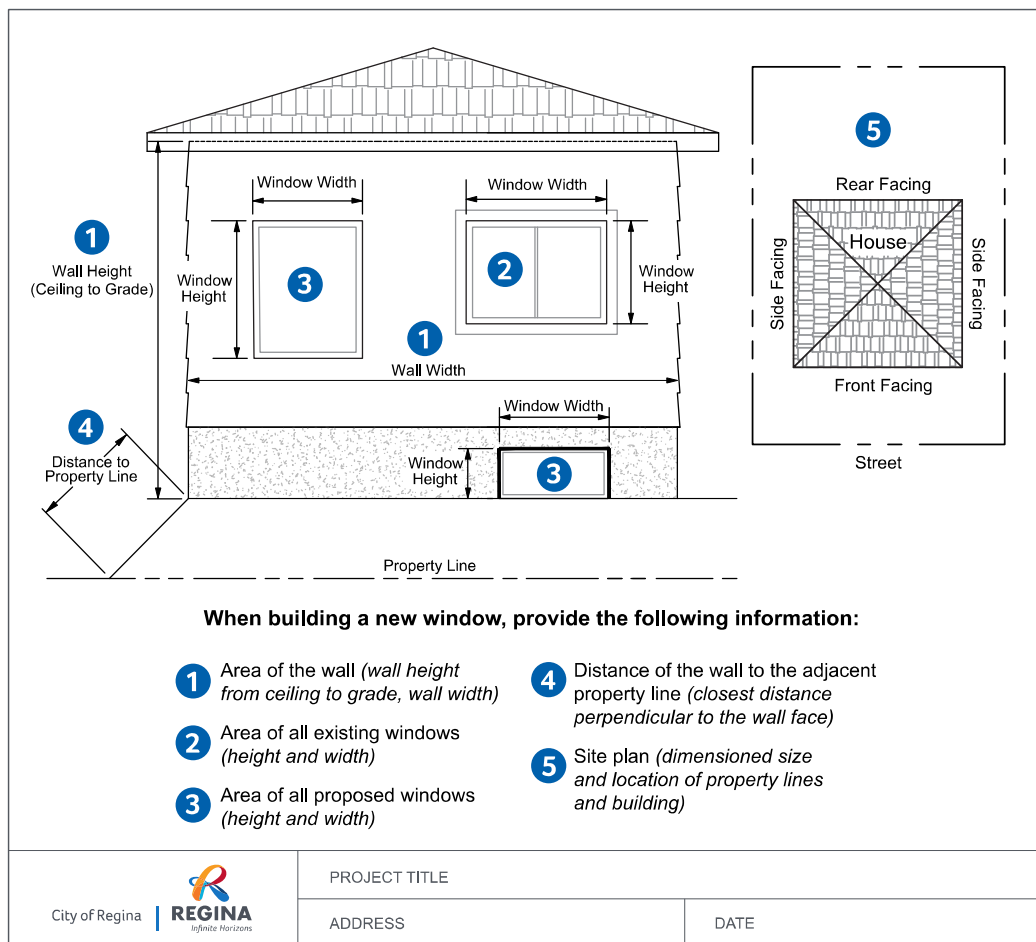


Figure 1 - Sample Window Elevation