

Planning and Development Services Advisory

Parcel Registration and Permit Application Timing

Builders and developers are asked to plan for processing time between subdivision approval and the ability to submit building and development permit applications.

After subdivision approval, several steps must be completed by Information Services Corporation (ISC) and the City before new parcels are eligible for permit submissions. These steps take time and must be completed before permit applications can be submitted.

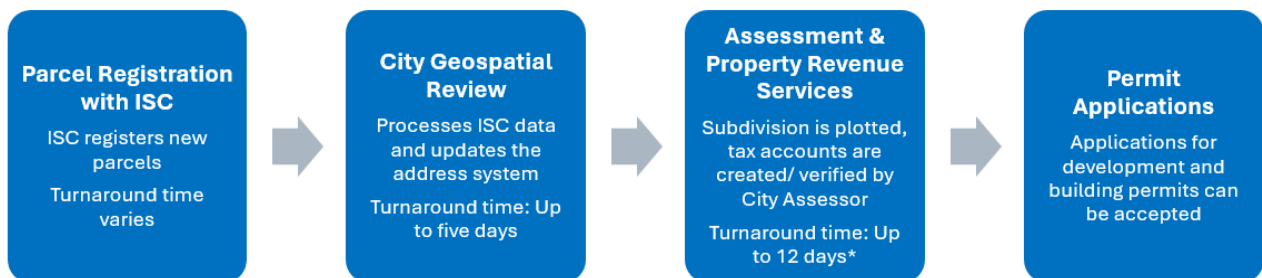
Accepting applications before parcels are registered and mapped would require additional rounds of technical review and confirmation once official parcel information becomes available. To ensure applications can be assessed accurately and efficiently, and to avoid additional review cycles once official parcel information is available, the City only accepts permit applications after parcel registration and internal setup are complete.

Planning Ahead

Developers are encouraged to account for this full process when scheduling construction and other commitments. Submitting registrations to ISC as early as possible will help reduce downstream delays.

The timelines outlined below reflect processing times under ideal conditions. Depending on the nature of the development, the number of parcels involved or the complexity of the property, additional review or coordination may be required. In some cases, processing may take longer than the typical timelines shown.

If you have questions related to subdivision servicing, parcel processing or permit timing, please contact Planning & Development Services before scheduling construction start dates or submitting development or building permit applications.



Parcel Registration with ISC

The developer must first submit the new lot registration to Information Services Corporation (ISC). ISC processing timelines vary. The City cannot begin its internal work until ISC completes registration and provides the registered plan package to the City.

Geospatial Branch Review

Once the registered parcel information is received from ISC, the City's Geospatial team begins processing the download for other City areas, verifies the address and updates the Corporate Address Repository (CAR) system. This process is usually completed within five days.

Assessment & Property Revenue Services Account Setup

After geospatial work is complete, the file moves to the Assessment & Property Revenue Services Department for processing.

This includes plotting the new parcels and aligning them with the approved subdivision plan. Tax accounts must be created for each new parcel, which are then verified by the City Assessor. These processes typically take up to 12 days to complete.

- Please note that during scheduled tax calculation periods, processing may be delayed by an additional week.

Building and Development Permit Applications

Only after ISC registration, geospatial updates and tax account creation are complete will Planning & Development accept building and development permit applications for the new parcels.

For questions related to addressing, developers are encouraged to [contact the City](#).